



# Building Design Guidelines

## The Rivers Stage 6

Lots 1318-1322, 1653-1655, 1662-1692 and 1694-1699 (inclusive)

Dec 2022

## Family Lots (coded R20)

### Introduction

These guidelines set out the minimum standards and conditions under which residential development within Millbridge Private Estate will normally be approved.

A full set of plans and specifications must be submitted to the Millbridge Private Estate developers (**Developer**) via email: [plans@millbridge.com.au](mailto:plans@millbridge.com.au)

The Developer will, within 10 business days, peruse any such plans for compliance with the Restrictive Covenants and these Building Design Guidelines (**BDG**). If deemed to comply, the Developer will return an approved set of plans to the applicant.

Please note that **no second hand, relocated, transportable, kit or container dwellings are permitted.**

**No construction can commence on site without a complete set of plans having been approved in writing by the Developer as set out above.**

### Architectural Features and Materials

**At least one pronounced architectural design feature shall be used in the primary elevation.**

Features may include:

- A front entry feature such as a portico, gate dwelling, arbor, extended pillars, or blade wall.
- A verandah or alfresco with a separate roofline and pillars, or a balcony.
- A decorative element including a built-in planter box, terracing, or a decorative screen.
- Window features, including bay and projecting windows, or window canopies and awnings.

**At least two different building materials, or at least two painted contrasting-coloured rendered walls shall be used in the primary elevation.**

### Dwelling Size

**Dwellings shall achieve a minimum internal living floor area:**

**Lots 500m<sup>2</sup> and over: 155m<sup>2</sup>**

**Lots under 500m<sup>2</sup>: 140m<sup>2</sup>**

Excludes the areas of porches, verandahs, balconies, alfresco, pergolas, eaves, garages, carports, external storerooms and outbuildings.

### Setbacks

Setbacks shall be in accordance with the Residential Design Codes of Western Australia (**R-Codes**) and Shire policies.

### Garaging

A garage enclosed on at least three sides and fitted with an operable sectional door, or roller door, or "Tilt-A-Door" facing the driveway shall be provided under the main dwelling roof and must accommodate at least two cars, side-by-side. The garage shall be constructed in identical materials to the rest of the dwelling.

### Access

- Crossovers and driveways shall be constructed prior to the occupation of the dwelling and shall be constructed of either concrete or block paving. **No loose materials are permitted.**
- Crossovers and driveways shall meet the Shire of Dardanup's specification.
- Secondary street vehicle access is only permitted on certain corner lots, once approved by the Shire. Refer Figure 2.

### Roofs

Traditional hipped and gable roofs shall have a minimum **24 degree pitch**, or an alternative pitch as approved in writing by the Developer.

**Zincalume is not permitted.**

## Fencing

- Fencing forward of the Primary Street setback shall be in accordance with the R-Codes. Materials and colours shall complement the primary elevation and not comprise prefinished corrugated metal sheeting.
- Fencing to side and rear boundaries shall be constructed using either:
  - a) A proprietary brand capped metal fencing system in a colour that is Dulux Colorbond® Harvest® (or equivalent). Fencing shall terminate in accordance with Figures 1.1 to 1.3 Fencing Control Details; or
  - b) Face brick, face block or rendered brick or blockwork, in a colour similar to natural limestone.
- Full height boundary fencing shall not extend forward of the main building line unless installed by the Developer.
  - a) it is part of a common boundary fence that is connecting to a fence along the Secondary Street boundary of a corner lot, or
  - b) it is in fact the Secondary Street boundary fence.Refer to Figures 1.2 and 1.3.
- In the case of corner lots, alternative fencing that may be considered, but which still requires written approval by the developer, are:
  - a) Face brick, face block or rendered brick or blockwork; or
  - b) A combination of open fencing and either face brick, face block or rendered brick or blockwork.

## Retaining Walls

Retaining walls shall not be used where visible from a street, or public reserve, unless constructed from limestone blocks, face brick or block, or rendered blockwork to match the walls of the dwelling.

## Gates

- Any gates in primary road facing fences shall complement the primary elevation, the use of timber/metal slats or decorative metal fencing is permissible.
- Any gates in secondary road facing fences shall be clad in similar materials and painted to match the fence or the use of timber/metal slats or decorative metal fencing is permissible.

## Outbuildings

Outbuildings shall comply with the Shire of Dardanup Town Planning Scheme No 3, clause 4.12 “Outbuildings in Residential Zones” and Policy CP091.

## Landscaping

All areas on lots visible from a street, or public reserve, shall be **completely landscaped within** a period of **six months** following practical completion of the dwelling.

**Please note that the verge must be landscaped in accordance with the Shire of Dardanup verge policy.**

## Bushfire Attack Level (BAL)

Dwellings constructed on lots located within 100 metres of Bushfire Prone Vegetation will be subject to a BAL assessment.

The Shire will require an assessment of the BAL for all plans that are submitted for a Building Permit.

## Quiet House Design

Quiet house design requirements may be applicable to the noise affected lots identified below. Detail of quiet house design requirements will be provided to the affected Buyer.

### Notification on Title only

Lots 1318, 1319, 1662, 1666 to 1669 inclusive, Lots 1681 and 1692.

### Package A Quiet House Design

Lots 1663 to 1665 and 1686 to 1691 inclusive.

### Package B Quiet House Design

Lots 1682 to 1685 inclusive.

## Lot classification

The Developer makes no representation of the soil classification for individual lots on Deposited Plans 424333 or 424334. The general site classification for the lots is “A” class, however individual lots may vary due to sub-surface conditions that can change abruptly due to variable geological profiles.

The Buyer is hereby made aware that the soil testing performed by their respective builder will dictate the dwelling engineering details and earth working as required by their structural engineers.

The Developer **shall not** be liable to compensate the Buyer for any additional costs, or expenses, of whatsoever nature in relation to site classification or engineering specifications as required by their builder.

## Servicing

- Bins and drying areas shall be concealed from public view.
- Installation of solar hot water units, or grid-connected solar power system panels, shall be integrated with and matched to the profile and pitch of the roof of the dwelling and extend no higher than the ridgeline of the roof.
- Air-conditioning systems shall be installed so that they are not visible from a street, or public reserve.

## Construction works requirements

The Buyer is **required** to include the following items in their building contract for pre-provisioning of their telecommunications:

- a rigid white P23 telecommunications conduit from the communications pit in the verge to a point adjacent the electrical meter box; and
- a powerpoint in the electrical meter box for connection of the Network Termination Device (NTD).

Refer to the Opticomm document “Preparation & installation guide for builders and developers” for detail on the requirements for pre-provisioning of telecommunications, available at the following link:

[https://www.opticomm.com.au/wp-content/uploads/2021/11/Preparation-Installation-Guide-Single-Dwelling-Unit-with-TV\\_Final.pdf](https://www.opticomm.com.au/wp-content/uploads/2021/11/Preparation-Installation-Guide-Single-Dwelling-Unit-with-TV_Final.pdf)

The Developer **recommends** the Buyer includes the following items in their building contract for pre-provisioning of their landscaping:

- an electrical connection for a reticulation controller box;
- a “stop gate” and “T” valve joint (next to the water meter) along with the plumbing for the supply of water to the reticulation; and
- a minimum 90mm diameter conduit under the driveway located one metre from the road reserve boundary of the lot.

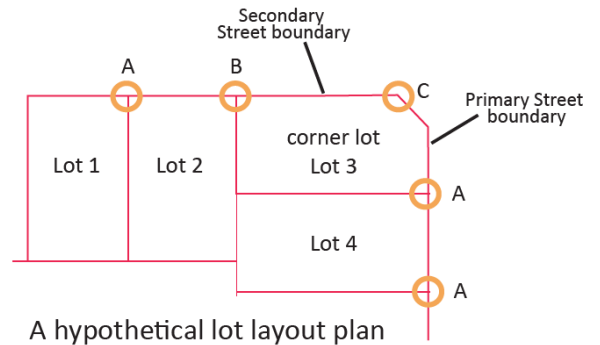
**The Buyer must make their agents, consultants, contractors, sub-contractors and suppliers aware of the following:**

1. The **finished site level** as provided by the Developer **shall not be raised or lowered by more than 0.5 metre**, unless for the installation of soakwells, a swimming pool, footings, or a cellar/basement contained wholly under the dwelling. The practice of creating a pit to extract sand from the lot and backfilling with topsoil is specifically prohibited due to the resulting change in site classification of the lot and subsequent drainage issues that may result from this poor practice.
2. During building, the Buyer shall maintain, or cause to be maintained, a skip bin on the building site and shall ensure that at least daily, and more frequently in windy weather, all waste materials that may blow onto streets, reserves and adjoining lots are collected and properly disposed of. The Buyer will be held responsible for any costs incurred by the Developer or Shire of Dardanup in removing any waste emanating from a lot onto streets, reserves, or adjoining lots.

The Shire of Dardanup may impose fines of up to \$1,000 where littering occurs, or damage is caused to public reserves during construction works (Litter Act 1979).

### Figure 1 - Fencing Control Details

not drawn to scale



A hypothetical lot layout plan for illustrative purposes

Figure 1.1  
Type A termination

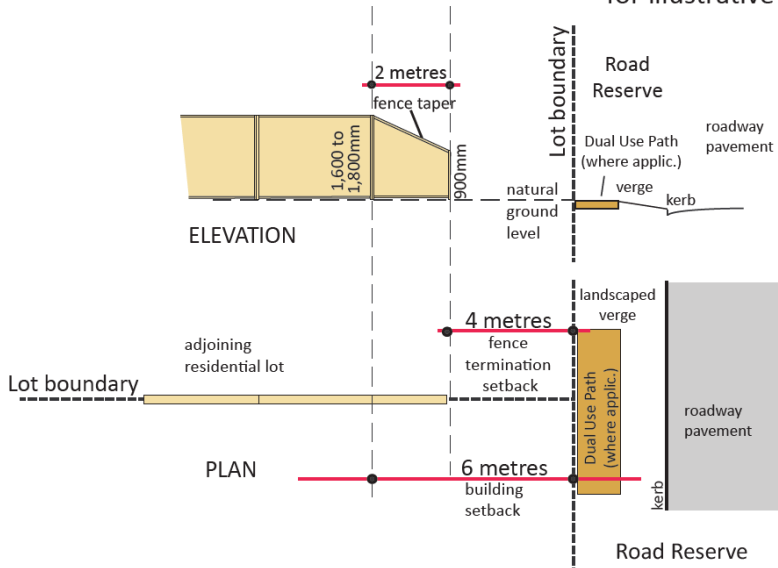


Figure 1.2  
Type B termination

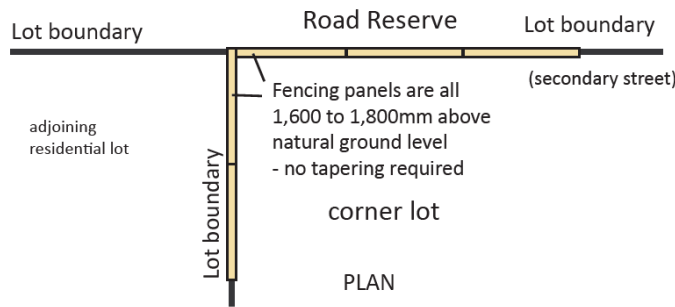


Figure 1.3  
Type C termination

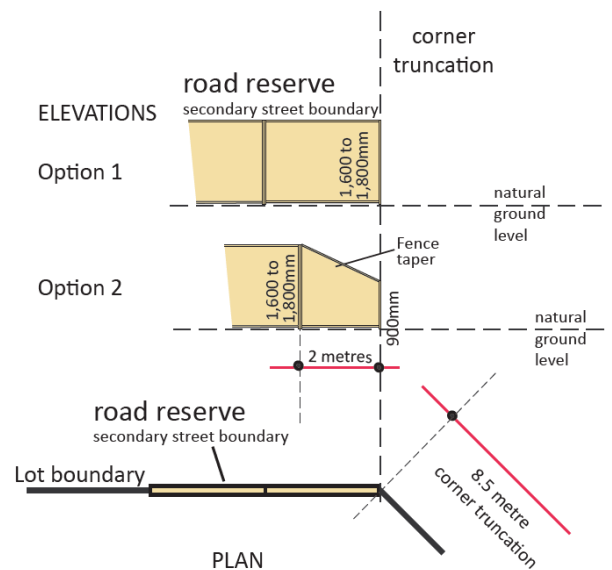




FIGURE 2

